

PLUS 2006-11-13
Preliminary land Use Service (PLUS)

Delaware State Planning Coordination
122 William Penn Street • Dover, DE 19901 • Phone: 302-739-3090 • Fax: 302-739-6958

Please complete this "PLUS application in its entirety. **All questions must be answered. If a question is unknown at this time or not applicable, please explain.** Unanswered questions on this form could lead to delays in scheduling your review. This form will enable the state staff to review the project before the scheduled meeting and to have beneficial information available for the applicant and/or developer at the time of review. If you need assistance or clarification, please call the State Planning Office at (302) 739-3090. Possible resources for completing the required information are as follows:

www.state.de.us/planning
www.dnrec.state.de.us/dnrec2000
www.dnrec.state.de.us/DNRECeis
datamil.delaware.gov
www.state.de.us/deptagri

1. Project Title/Name: Riverwalk on the Broadkill

2. Location (please be specific): Within Town of Milton, between north bank of Broadkill River and south side of Atlantic Ave (Del.Rte.22A)

3. Parcel Identification #: 2-35-14.00, Parcels 132.00-132.03 4. County or Local Jurisdiction Name: Sussex

5. Owner's Name: James C White, trustee, and Nancy L. White

Address: 800 Atlantic Avenue

City: Milton

State: De

Zip: 19968

Phone: 302-684-8033

Fax:

Email:

6. Applicant's Name: Chestnut Properties IV, L.L.C

Address: PO Box 212

City: Milton

State: De

Zip: 19968

Phone: 302-644-1400

Fax: 302-644-1183

Email: preslax@dmv.com

7. Project Designer/Engineer: Design Consultants Group, LLC

Address: 18072 Davidson Drive

City: Milton

State: De

Zip: 19968

Phone: 302-684-8030

Fax: 302-684-8054

Email: mdavidson@dgcengineering.com

8. Please Designate a Contact Person, including phone number, for this Project: Mark Davidson, 302-684-8030

Information Regarding Site:	
9. Type of Review: <input checked="" type="checkbox"/> Rezoning <input type="checkbox"/> Comp. Plan Amendment (Kent County Only) <input type="checkbox"/> Site Plan Review <input checked="" type="checkbox"/> Subdivision	
10. Brief Explanation of Project being reviewed: Ex. Land to become a 370 unit subdivision with single and multi-family, detached and semi-detached homes.	
11. Area of Project(Acres +/-): 76.05 acres	
12. According to the State Strategies Map, in what Investment Strategy Level is the project located? <input checked="" type="checkbox"/> Investment Level 1 <input checked="" type="checkbox"/> Investment Level 2 <input checked="" type="checkbox"/> Investment Level 3 <input type="checkbox"/> Investment Level 4 <input type="checkbox"/> Environmentally Sensitive Developing (Sussex Only)	
13. If this property has been the subject of a previous LUPA or PLUS review, please provide the name(s) and date(s) of those applications. n/a	
14. Present Zoning: R-1, R-3	15. Proposed Zoning: LPD (Large Parcel Development)
16. Present Use: Agricultural and Residential	17. Proposed Use: Detached, semi-detached SFD's and MFD's
18. If known, please list the historical and former uses of the property, and any known use of chemicals or hazardous substances: Land use was primarily agricultural according to state land-use maps and archived aerial photography (source: Delaware DataMIL)	
19. Comprehensive Plan recommendation: If in the County, which area, according to their comprehensive plan, is the project located in: New Castle <input type="checkbox"/> Kent <input type="checkbox"/> Sussex <input checked="" type="checkbox"/> Suburban <input type="checkbox"/> Inside growth zone <input type="checkbox"/> Town Center <input checked="" type="checkbox"/> Low Density <input type="checkbox"/> Suburban reserve <input type="checkbox"/> Outside growth zone <input type="checkbox"/> Developing <input checked="" type="checkbox"/> Other <input type="checkbox"/> Environ. Sensitive Dev. District <input type="checkbox"/>	
20. Water: <input type="checkbox"/> Central (Community system) <input type="checkbox"/> Individual On-Site <input checked="" type="checkbox"/> Public (Utility) Service Provider Name: Town of Milton Will a new public well be located on the site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No What is the estimated water demand for this project? 117,000 GPD How will this demand be met? Water distribution designed and installed per the Town of Milton requirements.	
21. Wastewater: <input type="checkbox"/> Central (Community system) <input type="checkbox"/> Individual On-Site <input checked="" type="checkbox"/> Public (Utility) Service Provider Name: Town of Milton	
22. If a site plan please indicate gross floor area: n/a	
23. If a subdivision: <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Mixed Use	
24. If residential, indicated the number of number of Lots/units: Gross Density of Project: 4.86 lots per acre (370 lots/76.05 ac); Net Density: 9.45 lots/acre (76.05 ac-36.93 impervious area = 39.12 net acres; 370 lots/39.12 ac = 9.45)	

25. If residential, please indicate the following:
Number of renter-occupied units: 0
Number of owner-occupied units: 370

Target Population (check all that apply):

Renter-occupied units

Family

Active Adult (check only if entire project is restricted to persons over 55)

Owner-occupied units

First-time homebuyer – if checked, how many units

Move-up buyer – if checked, how many units

Second home buyer – if checked, how many units

Active Adult (Check only if entire project is restricted to persons over 55)

26. Present Use: % of Impervious Surfaces: Dwelling and Ag
Fields and Woods
Square Feet: 0

Proposed Use: % of Impervious Surfaces: 48%
Square Feet: 59,408,212 sq ft or 36.93 acres

27. What are the environmental impacts this project will have?

How much forest land is presently on-site? 38.08 acres How much forest land will be removed? 16.75 acres

Are there known rare, threatened, or endangered species on-site? Yes No

Is the site in a sourcewater (for example, an excellent groundwater recharge) protection area? Yes No
Recharge potential maps are available at

Kent County

<http://www.udel.edu/dgs/Publications/pubsonline/hydromap11.pdf>

Sussex County

<http://www.udel.edu/dgs/Publications/pubsonline/hydromap12.pdf>

New Castle County has a map viewer that shows the Wellhead protection areas and excellent recharge areas under Natural Features – Water Resources.

<http://dmz-arcims02.co.new-castle.de.us/website/nccparcelmap2/viewer.htm>

Does it have the potential to impact a sourcewater protection area? Yes No

28. Is any portion of construction located in a Special Flood Hazard Area as defined by the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Maps (FIRM)? Yes No see note 8 on subdivision plan.

Will this project contribute more rainwater runoff to flood hazard areas than prior to development? Yes No If "Yes," please include this information on the site map.

29. Are there any wetlands, as defined by the U.S. Army Corps of Engineers or the Department of Natural Resources and Environmental Control, on the site? Yes No

Are the wetlands: Tidal Acres n/a
 Non-tidal Acres n/a

If "Yes", have the wetlands been delineated? Yes No n/a

Has the Army Corp of Engineers signed off on the delineation? Yes No

Will the wetlands be directly impacted and/or do you anticipate the need for wetland permits? Yes No If "Yes", describe the impacts: n/a

Will there be ground disturbance within 100 feet of wetlands Yes No

30. Are there streams, lakes, or other natural water bodies on the site? Yes No South edge of area is north bank of the Breadkill River

If the water body is a stream, is it: Perennial (permanent) Intermittent Ephemeral (Seasonal) n/a

If "Yes", have the water bodies been identified? Yes No n/a

Will there be ground disturbance within 100 feet of the water bodies Yes No If "Yes", please describe : Building placement.

31. Does this activity encroach on or impact any tax ditch, public ditch, or private ditch (ditch that directs water off-site)?

Yes No

If yes, please list name:

32. List the proposed method(s) of stormwater management for the site: Water quantity waiver using a conservation design approach along with a mechanical system for water quality.

Define the anticipated outlet location(s) for stormwater generated by the site (for example, perennial stream, tax ditch, roadside swale, storm drain system, infiltration, etc.): Broadkill River (Tidal Discharge)

Will development of the proposed site create or worsen flooding upstream or downstream of the site? Yes No

33. Is open space proposed? Yes No If "Yes," how much?

Open space proposed (not including stormwater management ponds and waste water disposal areas) 25.81 +/- acres (34%)

What is the intended use of the open space (for example, active recreation, passive recreation, stormwater management, wildlife habitat, historical or archeological protection)? Active recreation, passive recreation, historical and archeological protection.

Where is the open space located? Throughout the site.

Are you considering dedicating any land for community use (e.g., police, fire, school)? Yes No

34. Does it border existing natural habitat or preserved (for example, an agricultural preservation district or protected State Resource Area) land? Yes No If "Yes," what are they?

35. Is any developer funding for infrastructure improvement anticipated? Yes No If "Yes," what are they? Water and sewer extensions and road improvements as negotiated with DelDot.

36. Are any environmental mitigation measures included or anticipated with this project? Yes No

Acres on-site that will be permanently protected n/a

Acres on-site that will be restored n/a

Acres of required wetland mitigation n/a

Stormwater, erosion and sediment control, and construction best management practices (BMPs) that will be employed: Rain gardens and conservation design methods.

Buffers from wetlands, streams, lakes, and other natural water bodies: n/a

37. Has any consideration been given to nuisance species (for example, mosquitoes or Canada geese)? Yes No

38. Will this project generate additional traffic? Yes No

How many vehicle trips will this project generate on an average weekday? A trip is a vehicle entering or exiting. If traffic is seasonal, assume the peak season: See submitted traffic impact study

What percentage of those trips will be trucks, excluding vans and pick-up trucks? % (one percent)

39. If the project will connect to public roads, please specify the number and location of those connections. Please describe those roads in terms of number of lanes, width (in feet) of the lanes and any shoulders.

Number of lanes: 2 Width of lanes: 20 ft ea. Number of shoulders: 2 Width of shoulders: _____

Location: Please refer to site plan for locations.

40. Will the street rights of way be public, private, or town? Town

41. Is any of the project's road frontage subject to the Corridor Capacity Preservation Program? Yes No

42. Please list any locations where this project physically could be connected to existing or future development on adjacent lands and indicate your willingness to discuss making these connections.

43. Are there existing or proposed sidewalks? Yes No; bike paths Yes No

Is there an opportunity to connect to a larger bike/pedestrian network? Yes No

44. Is this site in the vicinity of any known historic/cultural resources or sites Yes No

Has this site been evaluated for historic and/or cultural resources? Yes No

Will this project affect, physically or visually, any historic or cultural resources? Yes No

If "Yes," please indicate what will be affected (Check all that apply)

Buildings/Structures (house, barn, bridge, etc.)

Sites (archaeological)

Cemetery

Would you be open to a site evaluation by the State Historic Preservation Office? Yes No
SHPO will need to contact the developer.

42. Are any federal permits, licensing, or funding anticipated? Yes No

43. Will this project generate any solid waste or require any special permits within State agencies to the best of your knowledge?

Yes No If yes, please List them: Construction debris from the builder.

45. Please make note of the time-line for this project:

I hereby certify that the information on this application is complete, true and correct, to the best of my knowledge.

Signature of property owner

Date

Signature of Person completing form
(If different than property owner)

Date

Signed application must be received before application is scheduled for PLUS review.

This form should be returned to the Office of State Planning **electronically** at Dorothy.morris@state.de.us **along with an electronic copy of any site plans and development plans for this site.** Site Plans, drawings, and location maps should be submitted as image files (JPEG, GIF, TIF, etc.) or as PDF files. GIS data sets and CAD drawings may also be submitted. **If electronic copy of the plan is not available, contact Dorothy at (302) 739-3090 for further instructions.** A signed copy should be forwarded to the Office of State Planning, 122 William Penn Street, Suite 302, Haslet Building, Third Floor, Dover, DE 19901. Thank you for this input. Your request will be researched thoroughly. **Please be sure to note the contact person** so we may schedule your request in a timely manner.

SITE DATA

1. PROJECT TITLE NAME: RIVERWALK ON THE BROADKILN
 PROJECT ADDRESS: S. SIDE OF ATLANTIC AVE. MILTON, DE 19968

2. OWNER INFORMATION: JAMES C. WHITE TRUSTEE
 NANCY L. WHITE
 800 ATLANTIC AVE.
 MILTON, DE 19968
 PHONE: 302-884-8033

3. DEVELOPER INFORMATION: CHESTNUT PROPERTIES IV, LLC
 P.O. BOX 212
 LEWES, DE 19969
 PHONE: 302-944-1400

4. ZONING INFORMATION: PRESENT ZONING: R-1 & R-3 (TOWN OF MILTON)
 PROPOSED ZONING: LPD (LARGE PARCEL DEVELOPMENT)

5. LAND USE INFORMATION: PRESENT USE: AGRICULTURE/RESIDENTIAL
 PROPOSED USE: DETACHED/SEMI-DETACHED SINGLE & MULTI-FAMILY DWELLINGS

WETLANDS: SEE ATTACHED SHEETS FOR WETLANDS DELINEATION PROVIDED BY ATLANTIC RESOURCE MANAGEMENT

6. PROPOSED LOTS: 104 SINGLE FAMILY LOTS + 3 FUTURE DETACHED SINGLE FAMILY LOTS (SEE NOTE 10)
 178 MULTI-FAMILY LOTS
 80 SEMI-DETACHED SINGLE FAMILY LOTS
 TOTAL LOTS = 378 + TOTAL FUTURE LOTS 3 = FOR A TOTAL OF 373 UNITS

DENSITY: 4.86 UNITS / ACRE

7. AREA COMPUTATION:

TOTAL AREA:	B-1 51.25	B-3 25.0	TOTAL 76.25
TOTAL FUTURE AREA: (SEE NOTE 10)	0.02		76.27
OPEN SPACE PROPOSED:	28.81 ACRES (34%)		
TOTAL LOT AREA: FUTURE LOT AREA (SEE NOTE 10):	34.07 ACRES 0.41 ACRES		
TOTAL IMPERVIOUS AREA: PAVING: BUILDINGS:	36.93 ACRES (48%) 18.22 ACRES (21%) 18.43 ACRES (20%)		
TOTAL R.O.W. AREA: FUTURE R.O.W. (SEE NOTE 10):	18.17 ACRES 0.10 ACRES		

	DETACHED SINGLE FAMILY	SEMI-DETACHED SINGLE FAMILY	MULTI-FAMILY
AVERAGE LOT SIZE:	8111 S.F.	4228 S.F.	2348 S.F.
MINIMUM LOT SIZE:	6000 S.F.	3358 S.F.	1640 S.F.
MAXIMUM LOT SIZE:	17964 S.F.	8283 S.F.	3368 S.F.

8. PROPOSED LPD MINIMUM REQUIREMENTS:

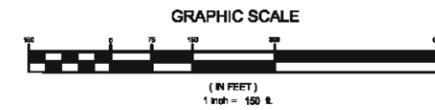
	DETACHED SINGLE FAMILY	SEMI-DETACHED SINGLE FAMILY	MULTI-FAMILY
MAX. BLDG. HEIGHT:	40'	40'	40'
MIN. LOT AREA:	6000 S.F.	3000 S.F.	1600 S.F.
MIN. LOT WIDTH:	40'	30'	22'
MIN. LOT DEPTH:	110'	70'	70'
SETBACKS:			
FRONT:	30'	15'	10'
SIDE:	5'	5'	5'
REAR:	10'		5'

9. UTILITIES:
 WATER SERVICE: PUBLIC - TOWN OF MILTON
 SANITARY SERVICE: PUBLIC - TOWN OF MILTON

10. PARCEL 132.04, LANDS NOW OR FORMERLY OF CHARLES A. & DEBRA A. WHITE (DEED BOOK 2124 PG 094) TO BE CONVEYED TO CHESTNUT PROPERTIES IV, LLC AS A FUTURE ANNEXATION TO THE TOWN OF MILTON AND AS AN EXTENSION OF "RIVER WALK ON THE BROADKILN".

11. SEE SHEET #2 FOR BOUNDARY SURVEY INFORMATION.

12. WETLANDS LINE FLAGGED JANUARY 2004, BY ATLANTIC RESOURCE MANAGEMENT INC. AND LOCATED BY COMPASS POINT ASSOCIATES, MILTON, DE 19968.



AREA MAP SCALE: 1"=400'

REVISIONS

10.27.06 MHD
11.01.06 TMP

PRELIMINARY SUBDIVISION KEY SHEET

RIVERWALK ON THE BROADKILN
 TOWN OF MILTON, SUSSEX COUNTY DELAWARE

DC GROUP

DESIGN CONSULTANTS GROUP, L.L.C.
 18072 Davidson Drive
 Milton, DE 19968
 (302) 884-8030 Fax: 884-8054
 SURVEYING • LAND PLANNING • ENGINEERING • LANDSCAPE ARCHITECTURE

DESIGNED BY: N/A
 SURVEYED BY: D. G. Gorman, L.L.C.
 DRAWN BY: Y.D. Mundy
 CHECKED BY: W.D.H.P./B.K.C.
 JOB #: 040204
 SCALE: Noted On Drawing
 TAX MAP: 238.14 PARCEL 132.04
 DATE: SEPTEMBER 8, 2004

SHEET NO: 93

REVISIONS

10.27.06 MHD

11.01.06 TMP

PRELIMINARY SUBDIVISION PLAN

RIVERWALK ON THE BROADKILN
TOWN OF MILTON, SUSSEX COUNTY DELAWARE

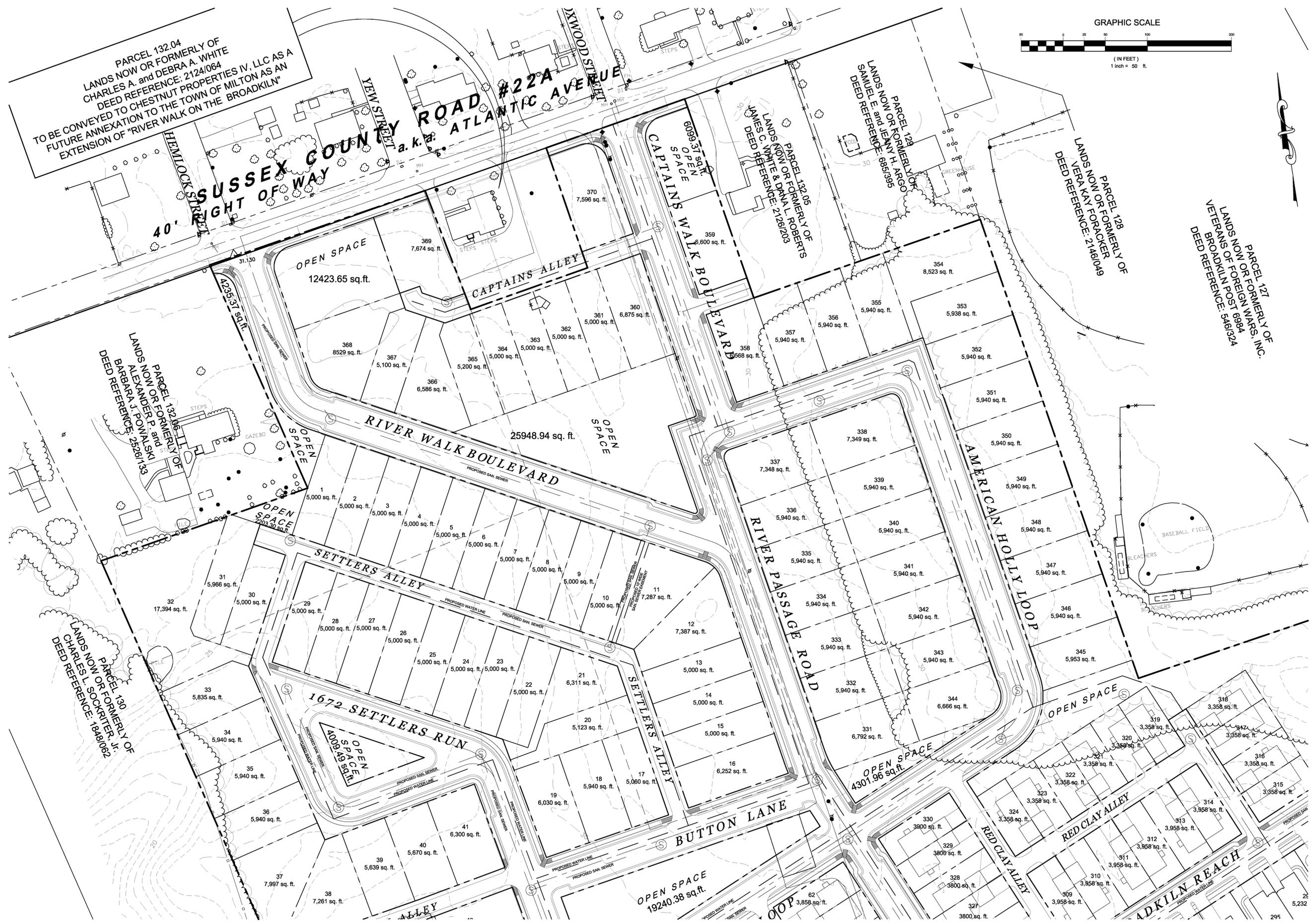
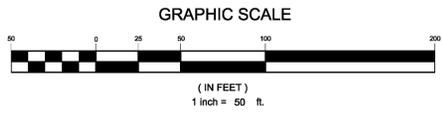
TITLE

DC GROUP
DESIGN CONSULTANTS GROUP, L.L.C.
18072 Huff Road (302) 684-8030 degroup@dcl.net
Milton, DE 19968 Fax: 684-8054
SURVEYING • ENGINEERING • LAND PLANNING



DESIGNED BY: N/A
SURVEYED BY: N/A
DRAWN BY: W. O. MURRAY
CHECKED BY: M. H. DAVIDSON
JOB #: 040204
SCALE: 1" = 50'
TAX MAP: 2-35-14, PARCEL 132-132-03
DATE: SEPTEMBER 5, 2006

SHEET NO: S4



PARCEL 132.04
LANDS NOW OR FORMERLY OF
CHARLES A. and DEBRA A. WHITE
DEED REFERENCE: 2124/064
TO BE CONVEYED TO CHESTNUT PROPERTIES IV, LLC AS A
FUTURE ANNEXATION TO THE TOWN OF MILTON AS AN
EXTENSION OF "RIVER WALK ON THE BROADKILN"

SUSSEX COUNTY
RIGHT OF WAY

ROAD #22A
ATLANTIC AVENUE

CAPTAINS WALK BOULEVARD

RIVER WALK BOULEVARD

SETTLERS ALLEY

1672 SETTlers RUN

BUTTON LANE

RIVER PASSAGE ROAD

AMERICAN HOLLY LOOP

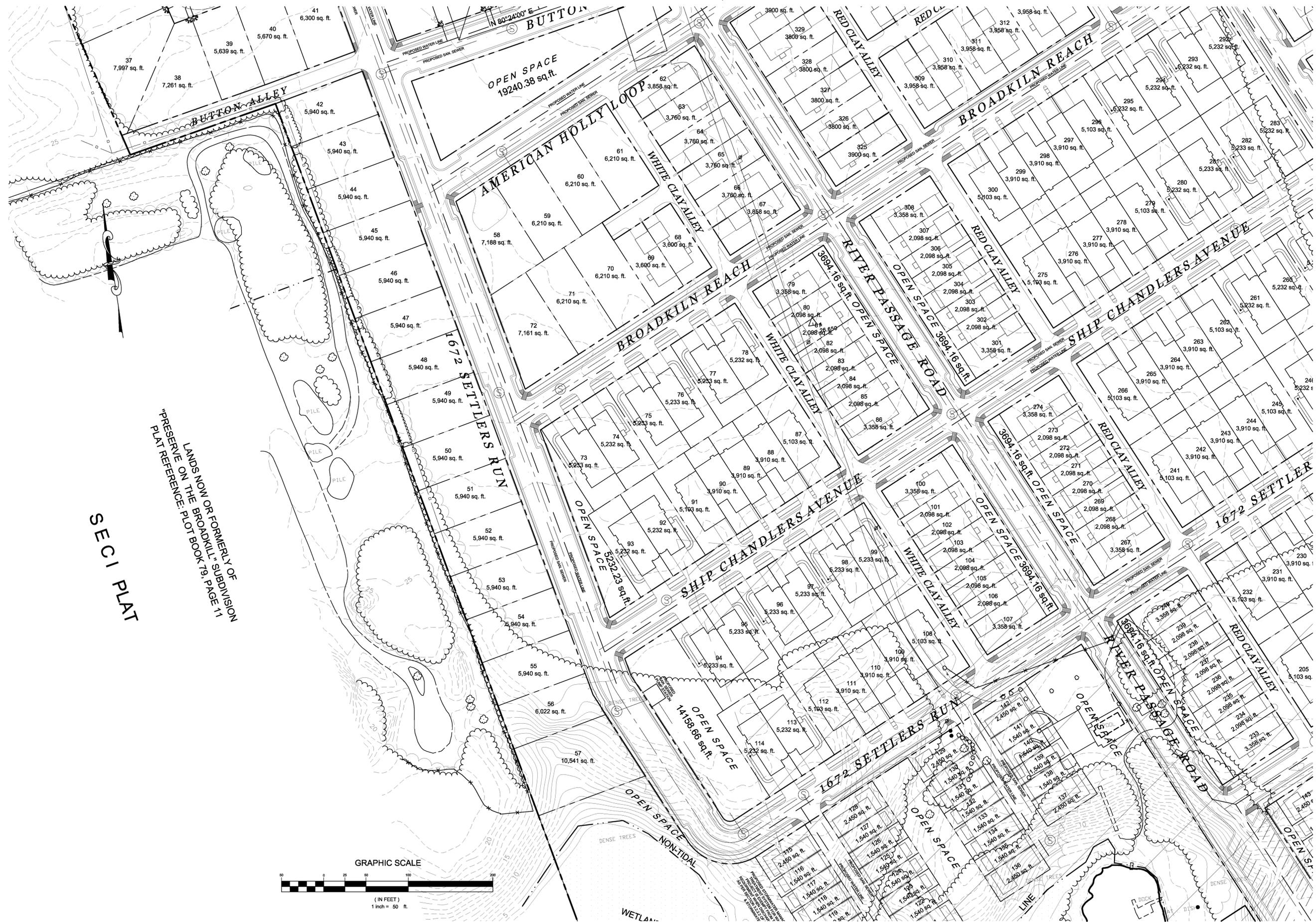
RED CLAY ALLEY

ADKILN REACH

FOR CONTINUATION, SEE SHEET SHEET S6

FOR CONTINUATION, SEE SHEET SHEET S5

FOR CONTINUATION, SEE SHEET SHEET S4



LANDS NOW OR FORMERLY OF
 PRESERVE ON THE BROADKILN SUBDIVISION
 PLAY REFERENCE: PLOT BOOK 78, PAGE 11-1

SEC 1 PLAT

REVISIONS

- 10.27.06 MHD
- 11.01.06 TMP

**PRELIMINARY SUBDIVISION
 PLAN**

RIVERWALK ON THE BROADKILN
 TOWN OF MILTON, SUSSEX COUNTY DELAWARE

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 18072 Huff Road (302) 684-8030 degroup@dcl.net
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DESIGNED BY: N/A
 SURVEYED BY: N/A
 DRAWN BY: W. O. MURRAY
 CHECKED BY: M. H. DAVIDSON
 JOB #: 040204
 SCALE: 1" = 50'
 TAX MAP: 2-35-14, PARCEL 132-132-03
 DATE: SEPTEMBER 8, 2008

SHEET NO: S5

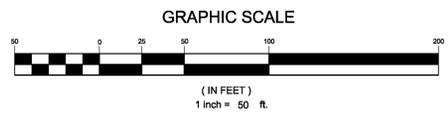
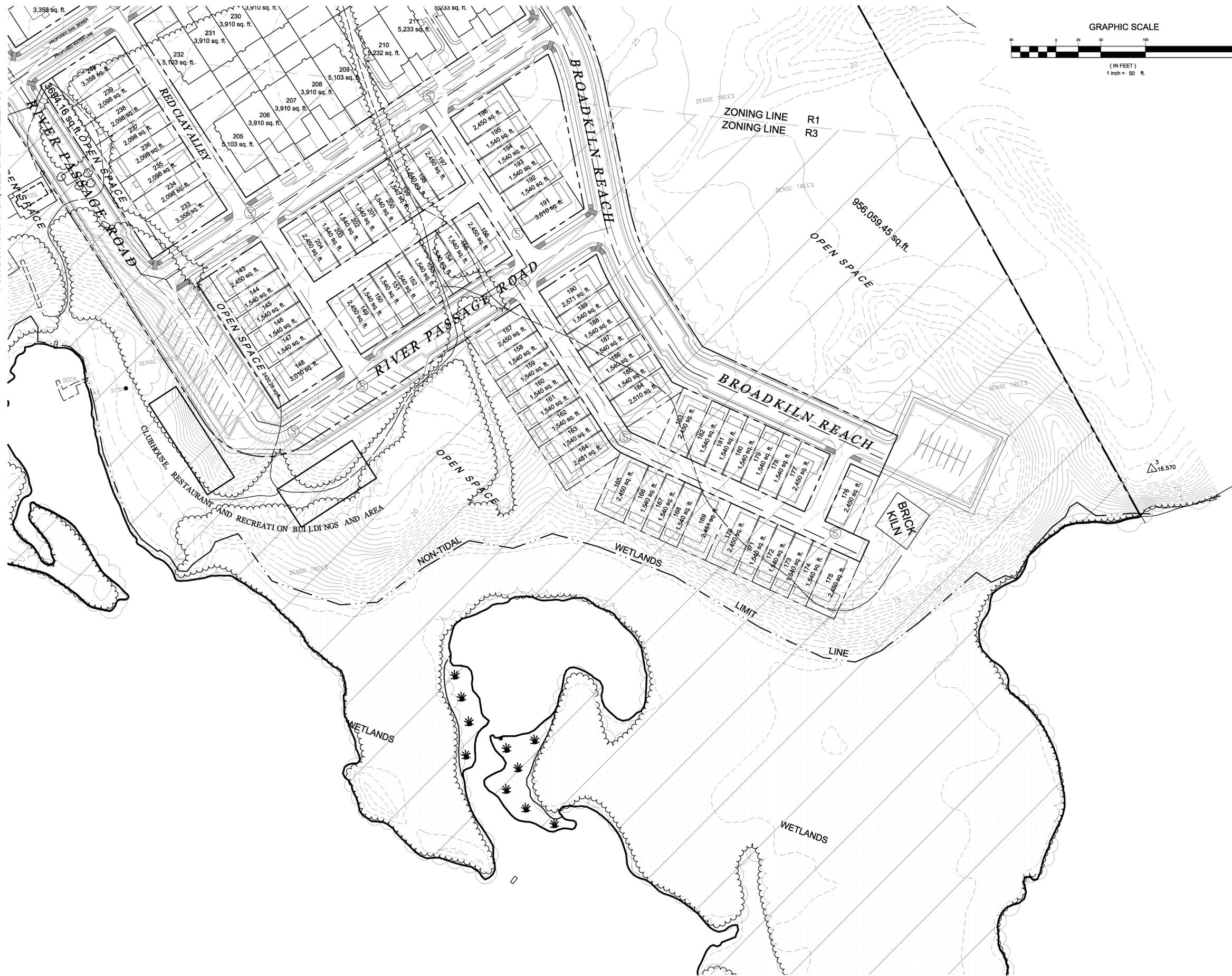
FOR CONTINUATION, SEE SHEET SHEET S4

FOR CONTINUATION, SEE SHEET SHEET S7

FOR CONTINUATION, SEE SHEET SHEET S8

FOR CONTINUATION, SEE SHEET SHEET S6

FOR CONTINUATION, SEE SHEET SHEET S5



REVISIONS

10.27.06 MHD
11.01.06 TMP

**PRELIMINARY SUBDIVISION
PLAN**

**RIVERWALK ON THE BROADKILN TOWN
OF MILTON, SUSSEX COUNTY DELAWARE**

DC GROUP

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18072 Huff Road (302) 684-8030 dcgroup@dcl.net
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DESIGNED BY: N/A
SURVEYED BY: N/A
DRAWN BY: W. O. MURRAY
CHECKED BY: M. H. DAVIDSON
JOB #: 040204
SCALE: 1" = 50'
TAX MAP: 2-35-14, PARCEL 132-132-03
DATE: SEPTEMBER 5, 2006

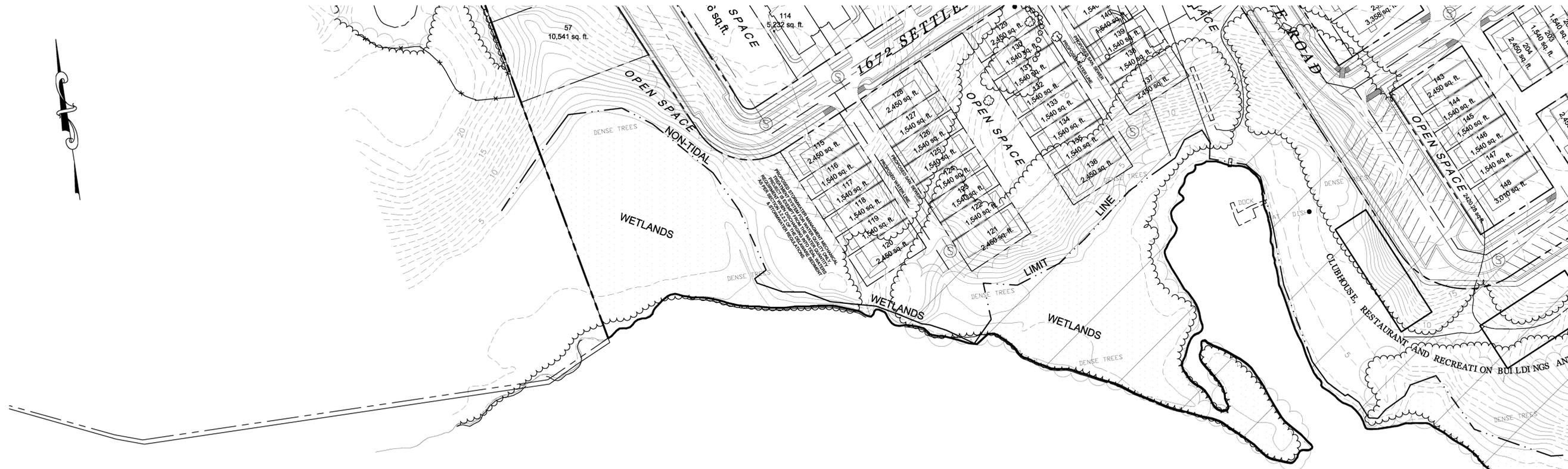
SHEET NO: S7

FOR CONTINUATION, SEE SHEET SHEET S5

REVISIONS

10.27.06 MHD
11.01.06 TMP

FOR CONTINUATION, SEE SHEET SHEET S7



**PRELIMINARY SUBDIVISION
PLAN**

RIVERWALK ON THE BROADKILN
TOWN OF MILTON, SUSSEX COUNTY DELAWARE

TITLE:

PROJECT:

DC GROUP
DESIGN CONSULTANTS GROUP, L.L.C.
18072 Huff Road (302) 684-8030 degroup@dci.net
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GRAPHIC SCALE

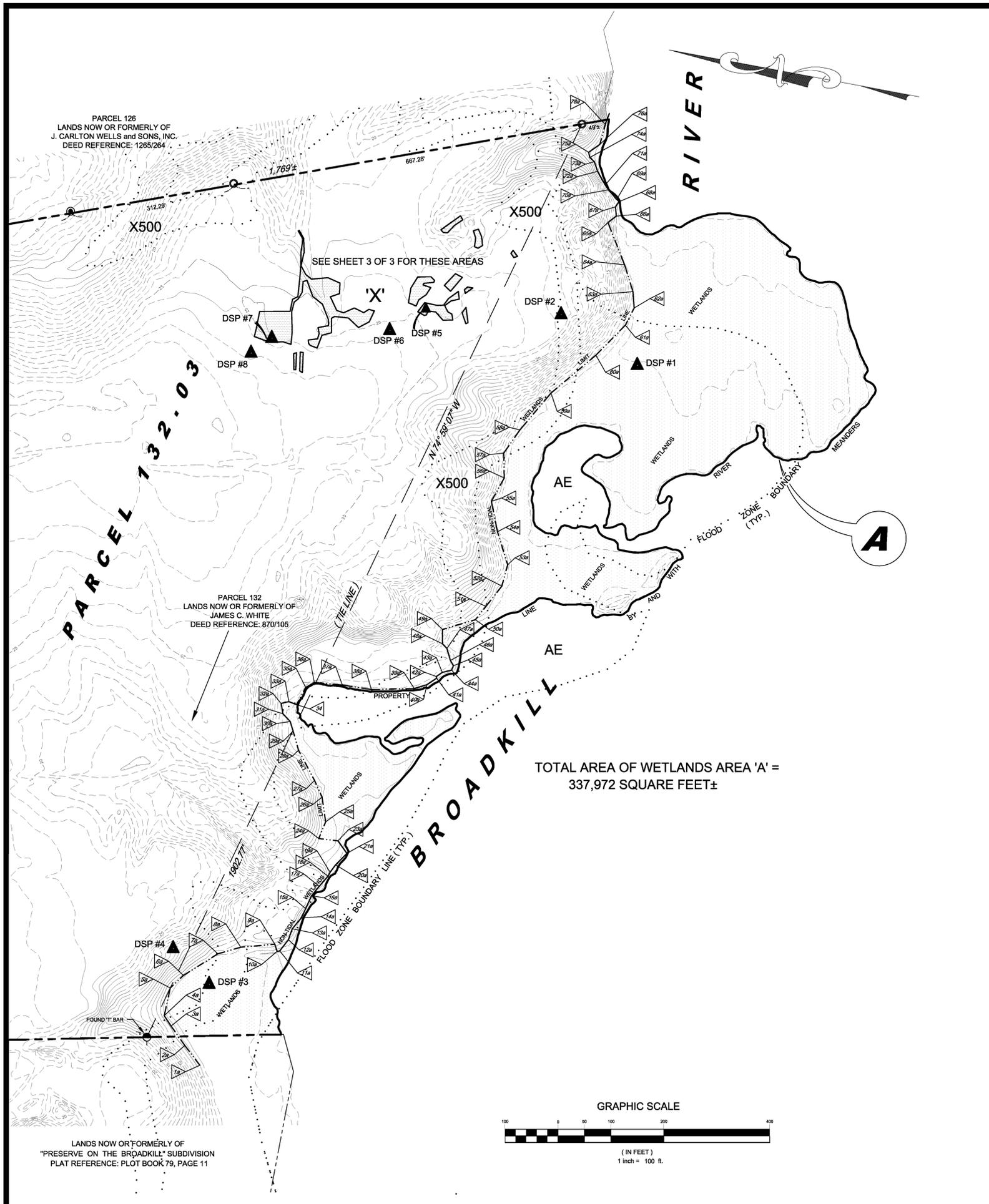


(IN FEET)
1 inch = 50 ft.

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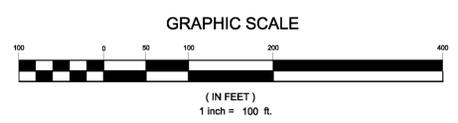
SHEET NO: S8



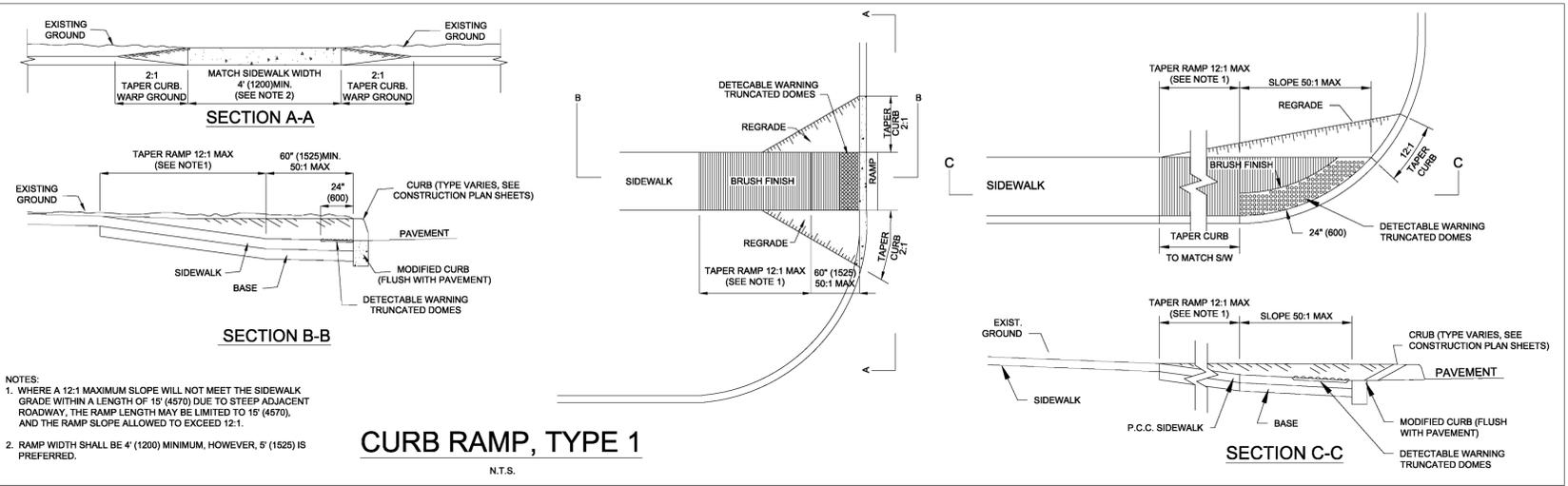
WETLANDS LINE 'A' TABLE

Flag - Flag	Length	Bearing
1a - 2a	46.86'	N 42° 10' 26" E
2a - 3a	44.72'	N 43° 58' 03" E
3a - 4a	23.40'	N 45° 50' 39" E
4a - 5a	53.37'	S 88° 18' 35" E
5a - 6a	34.13'	S 53° 57' 20" E
6a - 7a	76.83'	S 42° 33' 06" E
7a - 8a	45.07'	S 26° 36' 32" E
8a - 9a	64.48'	S 15° 35' 42" E
9a - 10a	14.14'	S 61° 39' 27" W
10a - 11a	5.00'	S 20° 15' 26" E
11a - 12a	26.73'	S 62° 33' 56" E
12a - 13a	21.74'	S 80° 57' 25" E
13a - 14a	26.99'	S 60° 47' 40" E
14a - 15a	18.97'	S 75° 21' 30" E
15a - 16a	26.53'	S 76° 02' 32" E
16a - 17a	22.91'	S 61° 23' 21" E
17a - 18a	25.30'	S 59° 22' 20" E
18a - 19a	8.48'	S 73° 08' 05" E
19a - 20a	17.30'	S 63° 24' 33" E
20a - 21a	30.30'	S 55° 57' 45" E
21a - 23a	29.00'	N 43° 48' 32" E
23a - 24a	36.53'	N 03° 42' 07" W
24a - 25a	33.84'	S 77° 57' 34" E
25a - 26a	47.15'	N 71° 13' 31" E
26a - 27a	34.47'	N 54° 56' 01" E
27a - 28a	64.31'	N 51° 28' 38" E
28a - 29a	37.27'	N 63° 26' 59" E
29a - 30a	18.92'	N 62° 38' 53" E
30a - 31a	20.13'	N 35° 51' 53" E
31a - 32a	19.64'	N 70° 11' 36" E
32a - 33a	14.78'	S 23° 52' 54" E
33a - 34a	15.71'	S 10° 32' 39" W
34a - 35a	36.51'	S 72° 21' 30" E
35a - 36a	18.70'	S 40° 49' 24" E
36a - 37a	53.17'	S 05° 26' 25" E
37a - 38a	55.60'	S 01° 48' 52" E
38a - 39a	81.00'	S 11° 54' 32" E
39a - 40a	25.11'	S 27° 25' 24" E
40a - 41a	21.89'	S 44° 20' 32" E
41a - 42a	3.13'	N 71° 24' 15" E
42a - 43a	13.47'	S 45° 35' 38" E
43a - 44a	18.17'	S 24° 12' 37" E
44a - 45a	8.97'	S 78° 01' 36" E
45a - 46a	11.43'	N 49° 47' 47" E
46a - 47a	23.52'	N 63° 06' 33" E
47a - 48a	11.97'	N 35° 52' 19" E
48a - 49a	26.87'	N 78° 51' 18" E
49a - 50a	64.96'	S 27° 03' 52" E
50a - 51a	32.01'	S 62° 01' 00" E
51a - 52a	48.42'	S 62° 18' 40" E
52a - 53a	41.80'	S 85° 05' 47" E
53a - 54a	64.86'	N 62° 06' 20" E
54a - 55a	58.36'	N 67° 58' 45" E
55a - 56a	50.23'	S 71° 37' 57" E
56a - 57a	46.77'	N 78° 16' 02" E
57a - 58a	53.17'	S 65° 31' 19" E
58a - 59a	90.81'	S 60° 15' 28" E
59a - 60a	110.77'	S 50° 38' 08" E
60a - 61a	79.24'	S 55° 54' 36" E
61a - 62a	36.18'	S 73° 28' 38" E
62a - 63a	30.84'	N 75° 24' 32" E
63a - 64a	53.04'	N 61° 59' 02" E
64a - 65a	85.39'	N 67° 49' 48" E
65a - 66a	19.77'	S 47° 42' 58" E
66a - 67a	17.57'	N 74° 38' 52" E
67a - 68a	11.98'	S 65° 45' 37" E
68a - 69a	6.14'	N 32° 54' 25" E
69a - 70a	23.41'	N 38° 22' 45" E
70a - 71a	11.37'	N 45° 05' 12" E
71a - 72a	29.37'	N 50° 13' 29" E
72a - 73a	19.10'	N 60° 34' 17" E
73a - 74a	11.70'	N 32° 34' 50" E
74a - 75a	9.91'	N 66° 29' 34" E
75a - 76a	25.86'	S 45° 46' 26" E
76a - 78a	41.15'	S 85° 19' 46" E

- LEGEND**
- DENOTES PROPERTY LII
 - - - - DENOTES NON-TIDAL WI
 - DENOTES IRON PIPE TO
 - DENOTES IRON PIPE FO
 - ⊙ DENOTES IRON ROD FO
 - DENOTES CONCRETE M
 - ▲ DENOTES NON-TIDAL WI (FLAG NUMBER AND AR NOTED WITHIN FLAG SY)
 - ⬜ DENOTES NON-TIDAL WETLANDS /
 - ▲ DENOTES DATA SAMPLING POINT (
 - ① DENOTES PHOTOGRAPH LOCATIO

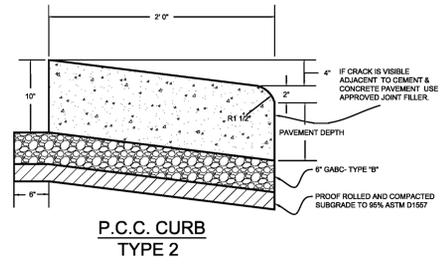


TOTAL AREA OF WETLANDS AREA 'A' = 337,972 SQUARE FEET±

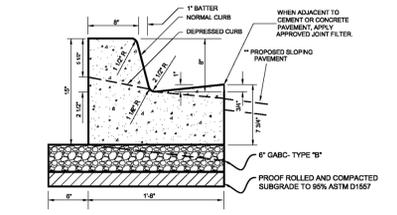


CURB RAMP, TYPE 1
N.T.S.

NOTES:
1. WHERE A 12:1 MAXIMUM SLOPE WILL NOT MEET THE SIDEWALK GRADE WITHIN A LENGTH OF 15' (4570) DUE TO STEEP ADJACENT ROADWAY, THE RAMP LENGTH MAY BE LIMITED TO 15' (4570), AND THE RAMP SLOPE ALLOWED TO EXCEED 12:1.
2. RAMP WIDTH SHALL BE 4' (1200) MINIMUM, HOWEVER, 5' (1525) IS PREFERRED.

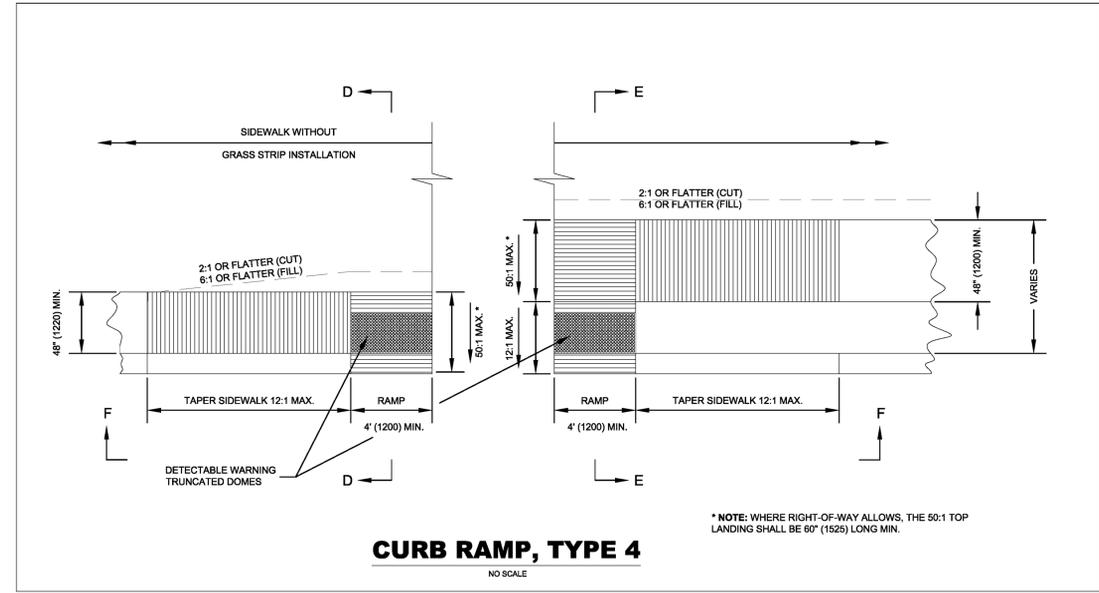


P.C.C. CURB TYPE 2



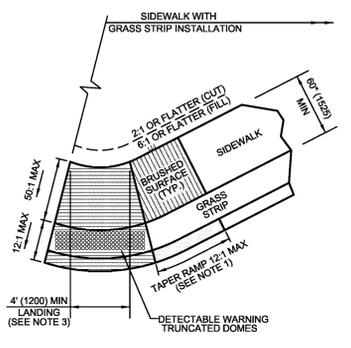
INTEGRAL P.C.C. CURB & GUTTER TYPE 3

** MODIFY CURB AS SHOWN WHEN PROPOSED PAVEMENT BRAND AWAY FROM PROPOSED CURB AND GUTTER. CURB MODIFICATION TO BE INCLUDED IN UNIT PRICE BID FOR RESPECTIVE CURB.



CURB RAMP, TYPE 4
NO SCALE

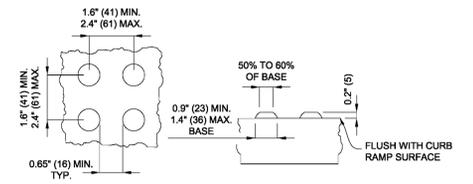
* NOTE: WHERE RIGHT-OF-WAY ALLOWS, THE 50:1 TOP LANDING SHALL BE 60" (1525) LONG MIN.



CURB RAMP, TYPE 3
DIAGONAL CURB RAMP
N.T.S.

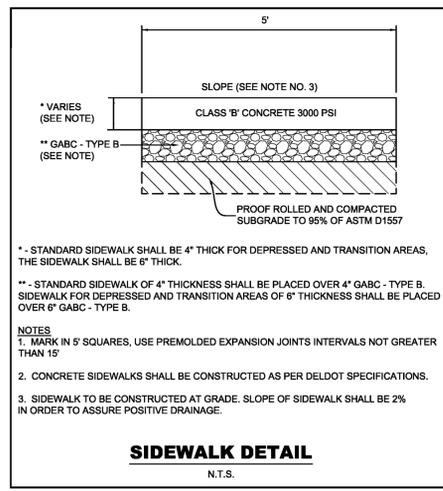
NOTE: THE DIAGONAL CURB RAMP IS NOT THE PREFERRED TREATMENT.

NOTES:
1. WHERE A 12:1 MAXIMUM SLOPE WILL NOT MEET THE SIDEWALK GRADE WITHIN A LENGTH OF 15' (4570) DUE TO STEEP ADJACENT ROADWAY, THE RAMP LENGTH MAY BE LIMITED TO 15' (4570), AND THE RAMP SLOPE ALLOWED TO EXCEED 12:1.
2. TRANSITION TO EXISTING SIDEWALK WIDTH OVER THE LENGTH OF THE RAMP.
3. RAMP WIDTH SHALL BE 4' (1200) MINIMUM, HOWEVER, 5' (1525) IS PREFERRED.



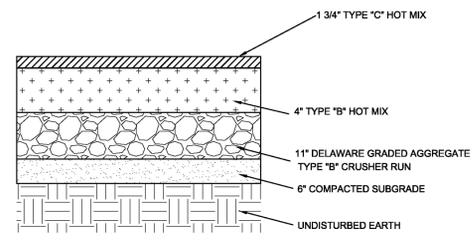
DETECTABLE WARNINGS-TRUNCATED DOME DETAILS
N.T.S.

NOTES:
1. THE AREA OF DETECTABLE WARNING TRUNCATED DOMES SHALL BE 24" (600) LONG AND THE FULL WIDTH OF THE RAMP.
2. SEE SPECIFICATION FOR ADDITIONAL INFORMATION.

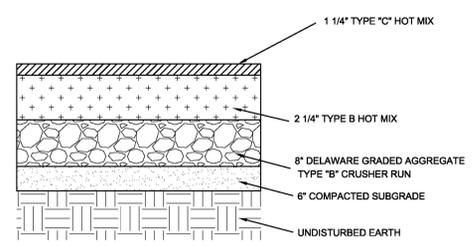


SIDEWALK DETAIL
N.T.S.

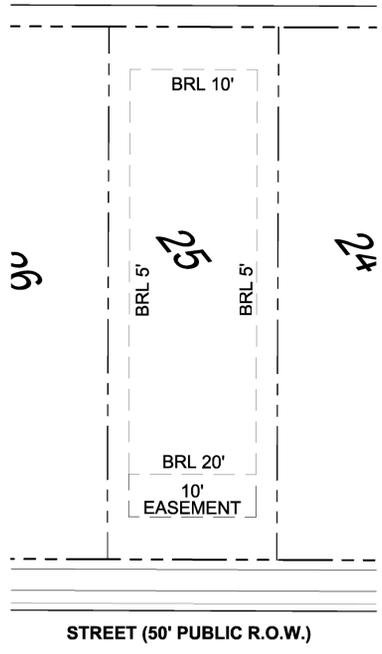
* - STANDARD SIDEWALK SHALL BE 4" THICK FOR DEPRESSIONED AND TRANSITION AREAS, THE SIDEWALK SHALL BE 6" THICK.
** - STANDARD SIDEWALK OF 4" THICKNESS SHALL BE PLACED OVER 4" GABC - TYPE B. SIDEWALK FOR DEPRESSIONED AND TRANSITION AREAS OF 6" THICKNESS SHALL BE PLACED OVER 6" GABC - TYPE B.
NOTES:
1. MARK IN 5' SQUARES, USE PREMOLDED EXPANSION JOINTS INTERVALS NOT GREATER THAN 15'.
2. CONCRETE SIDEWALKS SHALL BE CONSTRUCTED AS PER DELDOT SPECIFICATIONS.
3. SIDEWALK TO BE CONSTRUCTED AT GRADE. SLOPE OF SIDEWALK SHALL BE 2% IN ORDER TO ASSURE POSITIVE DRAINAGE.



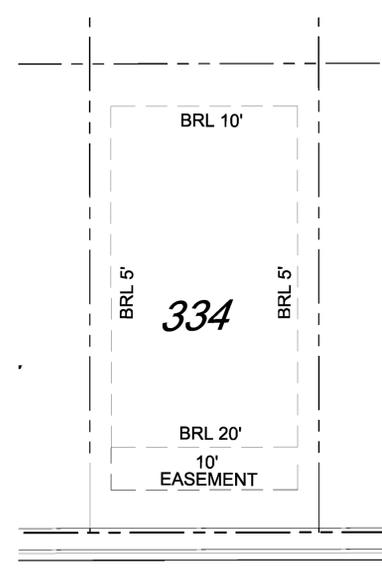
TYPICAL PAVEMENT SECTION CLASS 'E' ENTRANCE
N.T.S.



TYPICAL PAVEMENT SECTION SUBDIVISION ROADS
N.T.S.



DETACHED TYPICAL 40' x 125' LOT LAYOUT
SCALE: 1" = 20'



DETACHED TYPICAL 54' x 110' LOT LAYOUT
SCALE: 1" = 20'

REVISIONS

UPDATED DETAILS-10.27.06

SUBDIVISION DETAILS

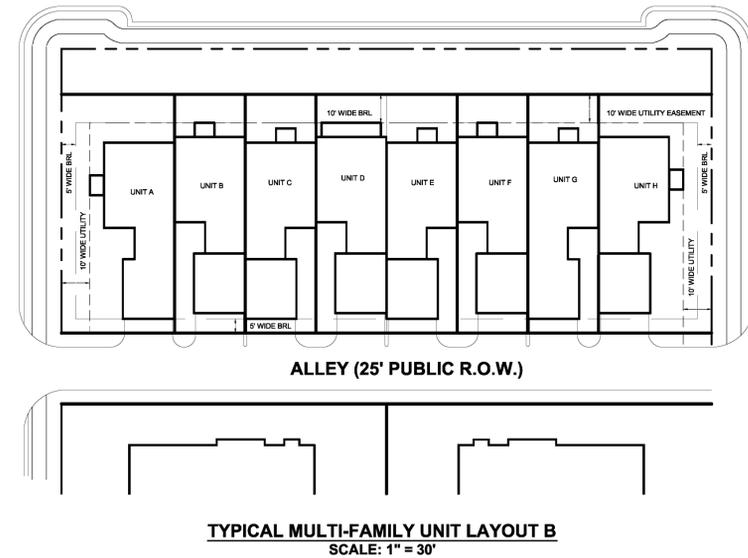
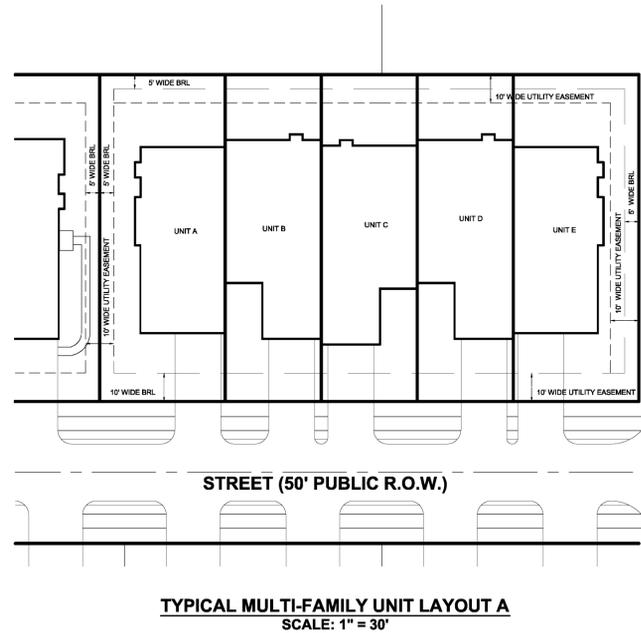
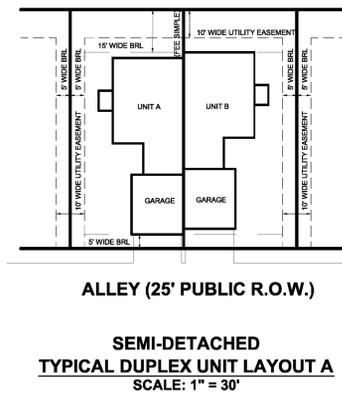
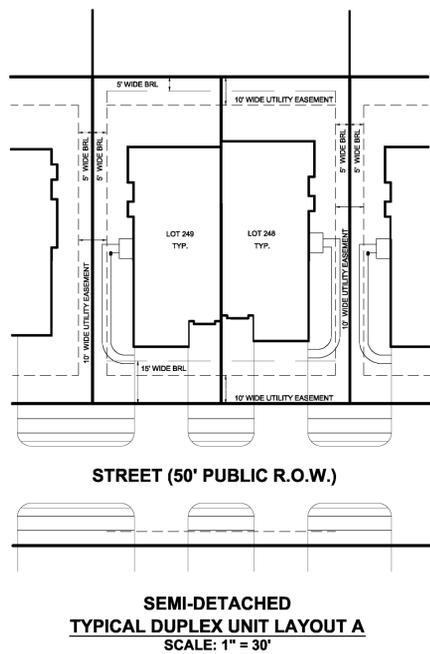
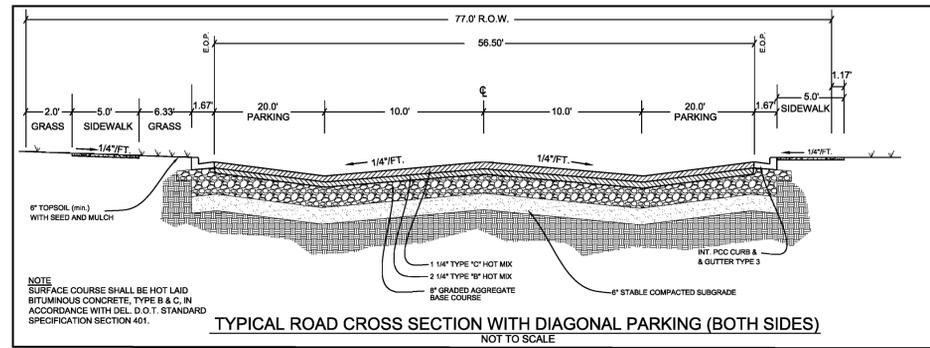
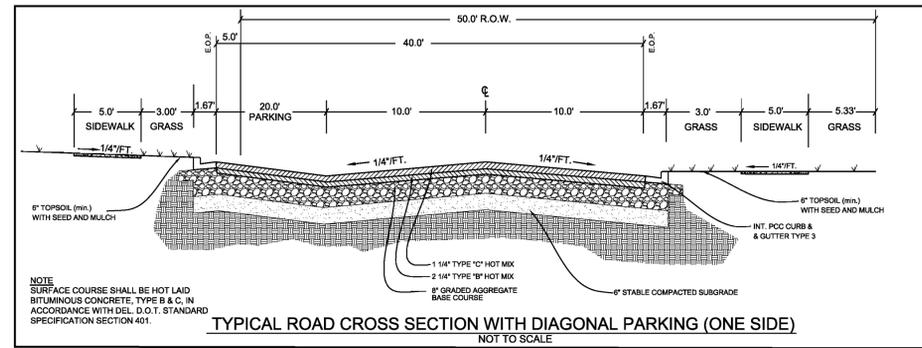
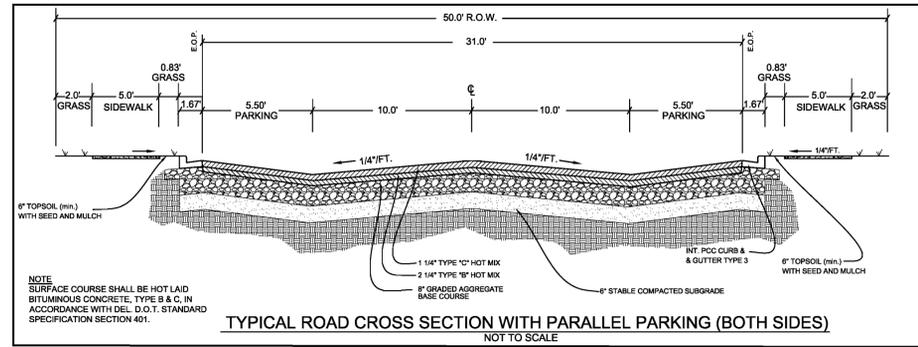
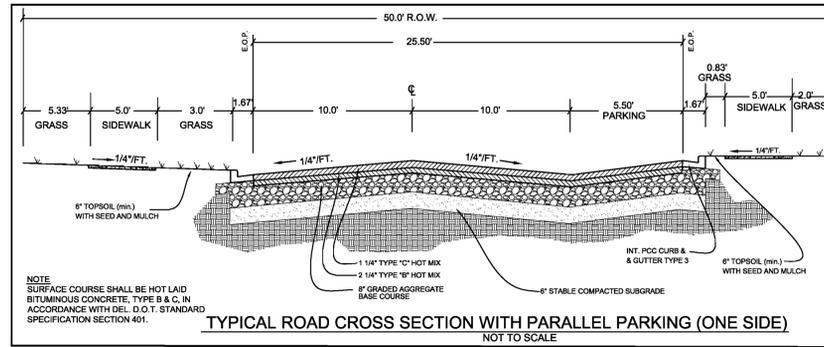
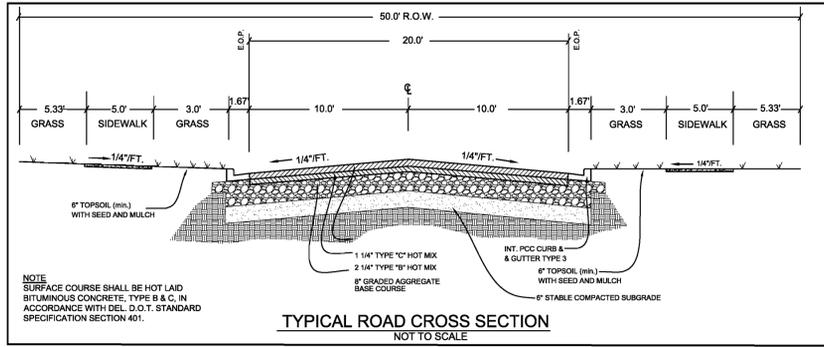
RIVER WALK ON THE BROADKILN
TOW OF MILTON, SUSSEX COUNTY, DELAWARE

DC GROUP

DESIGN CONSULTANTS GROUP, L.L.C.
18072 Davidson Drive
Milton, DE 19968
www.dcgengineering.com
(302) 684-3030 Fax: 684-8054
SURVEYING • LAND PLANNING • ENGINEERING • LANDSCAPE ARCHITECTURE



DESIGNED BY: M.H. DAVIDSON
SURVEYED BY: DC GROUP
DRAWN BY: S. CRUZ
CHECKED BY: M.H.D., S.K.C.
JOB #: 040204
SCALE: AS SHOWN
TAX MAP: 2-35-14, PARCELS 32-32-03
DATE: SEPTEMBER 11, 2006



REVISIONS

UPDATED DETAILS-10.27.06

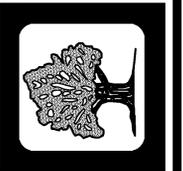
SUBDIVISION DETAILS

RIVER WALK ON THE BROADKILN
TOWN OF MILTON, SUSSEX COUNTY, DELAWARE

TITLE:

PROJECT:

DC GROUP
DESIGN CONSULTANTS GROUP, L.L.C.
18072 Davidson Drive
Milton, DE 19966
www.dcgengineering.com
(302) 684-8030 Fax: 684-8054



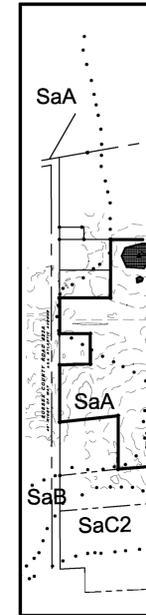
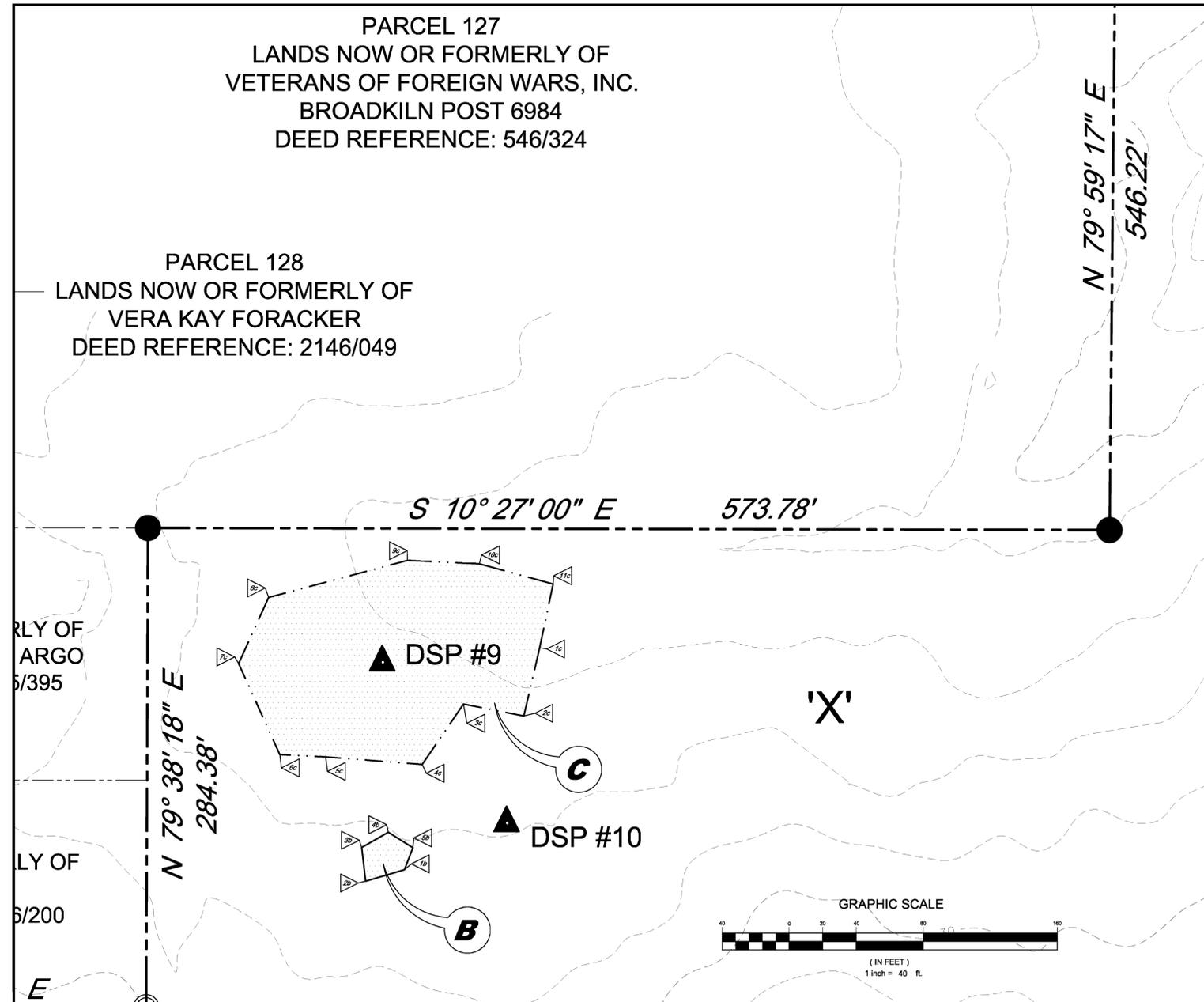
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DESIGNED BY: M.H. DAVIDSON
SURVEYED BY: DC GROUP
DRAWN BY: S. CRUZ
CHECKED BY: M.H.D., S.K.C.
JOB #: 040204
SCALE: AS SHOWN
TAX MAP: 2-35-14, PARCELS 32-32-03
DATE: SEPTEMBER 1, 2006

SHEET NO: S10

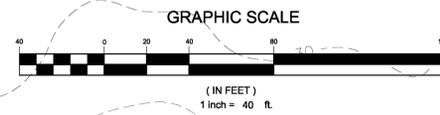
PARCEL 127
 LANDS NOW OR FORMERLY OF
 VETERANS OF FOREIGN WARS, INC.
 BROADKILN POST 6984
 DEED REFERENCE: 546/324

PARCEL 128
 LANDS NOW OR FORMERLY OF
 VERA KAY FORACKER
 DEED REFERENCE: 2146/049



SC

IM

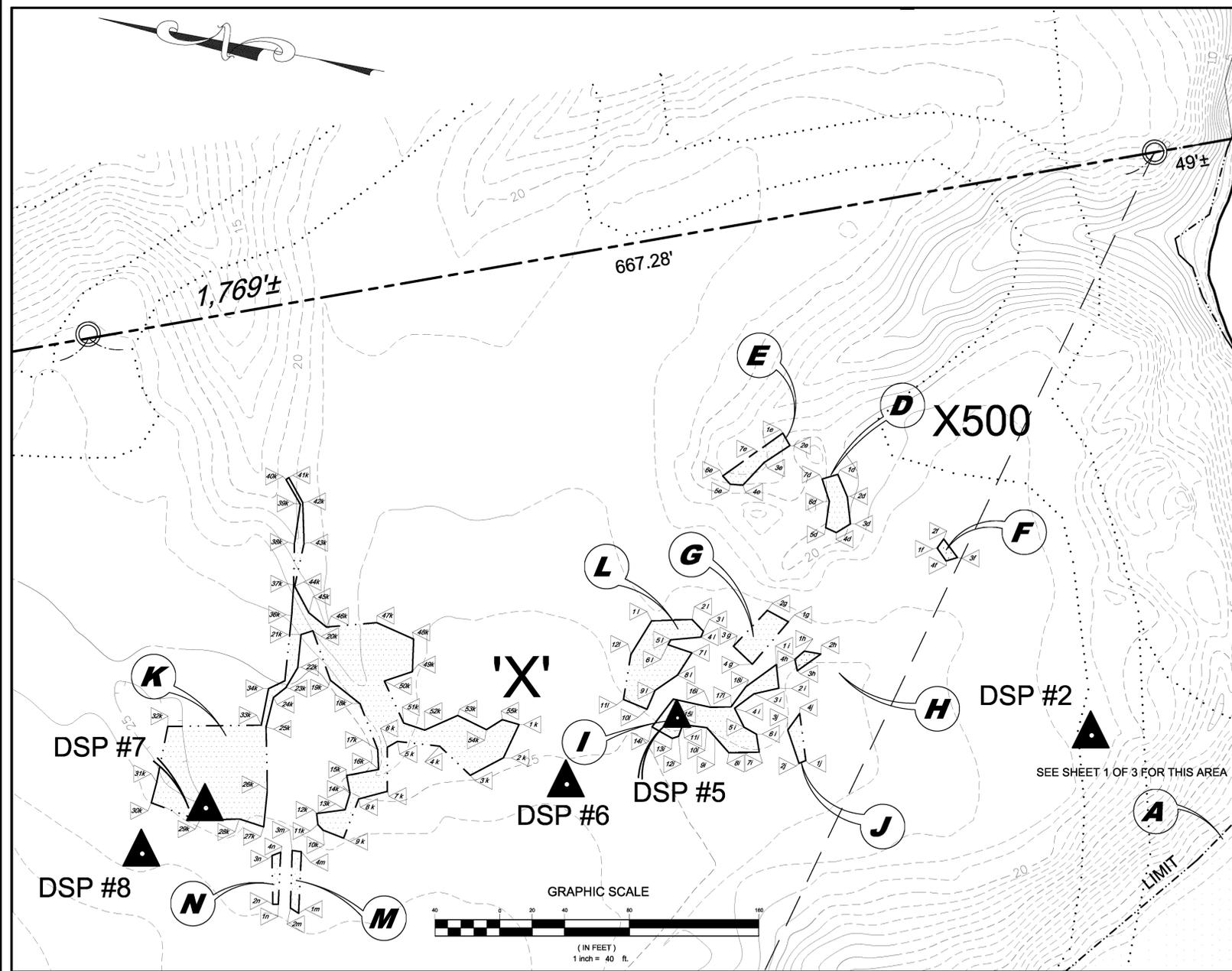


TOTAL AREA OF WETLANDS AREA 'B' = 579 SQUARE FEET±

TOTAL AREA OF WETLANDS AREA 'C' = 16,812 SQUARE FEET±

WETLANDS LINE TABLE		
Flag - Flag	Length	Bearing
WETLANDS AREA 'B'		
1b - 2b	24.17'	N 35° 07' 26" W
2b - 3b	20.13'	N 64° 36' 27" E
3b - 4b	18.29'	S 48° 26' 59" E
4b - 5b	17.31'	S 13° 24' 26" W
1b - 5b	13.96'	S 67° 39' 08" E

WETLANDS LINE TABLE		
Flag - Flag	Length	Bearing
WETLANDS AREA 'C'		
1c - 2c	41.55'	S 84° 27' 04" W
2c - 3c	36.65'	N 07° 36' 09" W
3c - 4c	43.49'	N 74° 10' 44" W
4c - 5c	57.78'	N 14° 19' 17" W
5c - 6c	27.38'	S 15° 51' 29" E
6c - 7c	59.32'	S 46° 48' 53" W
7c - 8c	43.14'	N 84° 14' 12" W
8c - 9c	85.73'	S 33° 34' 42" E
9c - 10c	42.95'	S 16° 00' 29" E
10c - 11c	45.55'	S 03° 31' 21" E
11c - 1c	28.02'	N 80° 41' 48" E



TOTAL WETLANDS AREA = 369,487 SQ. FT.± (8.48 ACRES±)
 TOTAL PROJECT AREA = 3,362,703 SQ. FT.± (77.20 ACRES±)

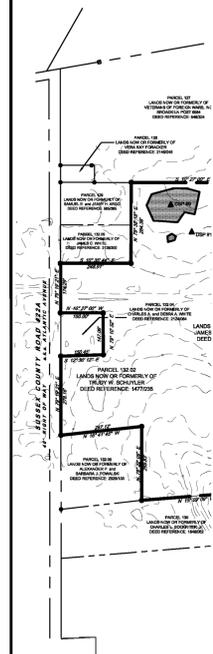
- TOTAL AREA OF WETLANDS AREA 'D' = 404 SQUARE FEET±
- TOTAL AREA OF WETLANDS AREA 'E' = 408 SQUARE FEET±
- TOTAL AREA OF WETLANDS AREA 'F' = 80 SQUARE FEET±
- TOTAL AREA OF WETLANDS AREA 'G' = 491 SQUARE FEET±
- TOTAL AREA OF WETLANDS AREA 'H' = 89 SQUARE FEET±
- TOTAL AREA OF WETLANDS AREA 'I' = 1,350 SQUARE FEET±
- TOTAL AREA OF WETLANDS AREA 'J' = 174 SQUARE FEET±
- TOTAL AREA OF WETLANDS AREA 'K' = 9,363 SQUARE FEET±
- TOTAL AREA OF WETLANDS AREA 'L' = 1,431 SQUARE FEET±
- TOTAL AREA OF WETLANDS AREA 'M' = 199 SQUARE FEET±
- TOTAL AREA OF WETLANDS AREA 'N' = 135 SQUARE FEET±

LEGEND

- DENOTES PROPERTY LINE
- - - - - DENOTES NON-TIDAL WETLANDS LIMIT LINE
- DENOTES IRON PIPE TO BE SET
- DENOTES IRON PIPE FOUND
- DENOTES IRON ROD FOUND
- DENOTES CONCRETE MONUMENT FOUND
- ◁ DENOTES NON-TIDAL WETLANDS FLAG (FLAG NUMBER AND AREA DESIGNATION NOTED WITHIN FLAG SYMBOL)
- DENOTES NON-TIDAL WETLANDS AREA
- ▲ DENOTES DATA SAMPLING POINT (DSP)
- ① DENOTES PHOTOGRAPH LOCATION

WETLANDS LINE TABLE		
Flag - Flag	Length	Bearing
WETLANDS AREA 'L'		
11 - 21	24.91'	S 20° 42' 04" E
21 - 31	10.12'	S 27° 09' 06" W
31 - 41	3.89'	N 85° 14' 59" W
41 - 51	18.64'	N 23° 52' 46" W
51 - 61	3.52'	N 78° 49' 16" W
61 - 71	15.57'	S 00° 12' 25" E
71 - 81	16.21'	N 75° 43' 33" W
81 - 91	16.80'	N 53° 06' 36" W
91 - 101	12.55'	N 85° 22' 28" W
101 - 111	15.74'	N 03° 44' 12" E
111 - 121	28.02'	N 80° 41' 48" E
121 - 11	24.26'	S 76° 52' 10" E

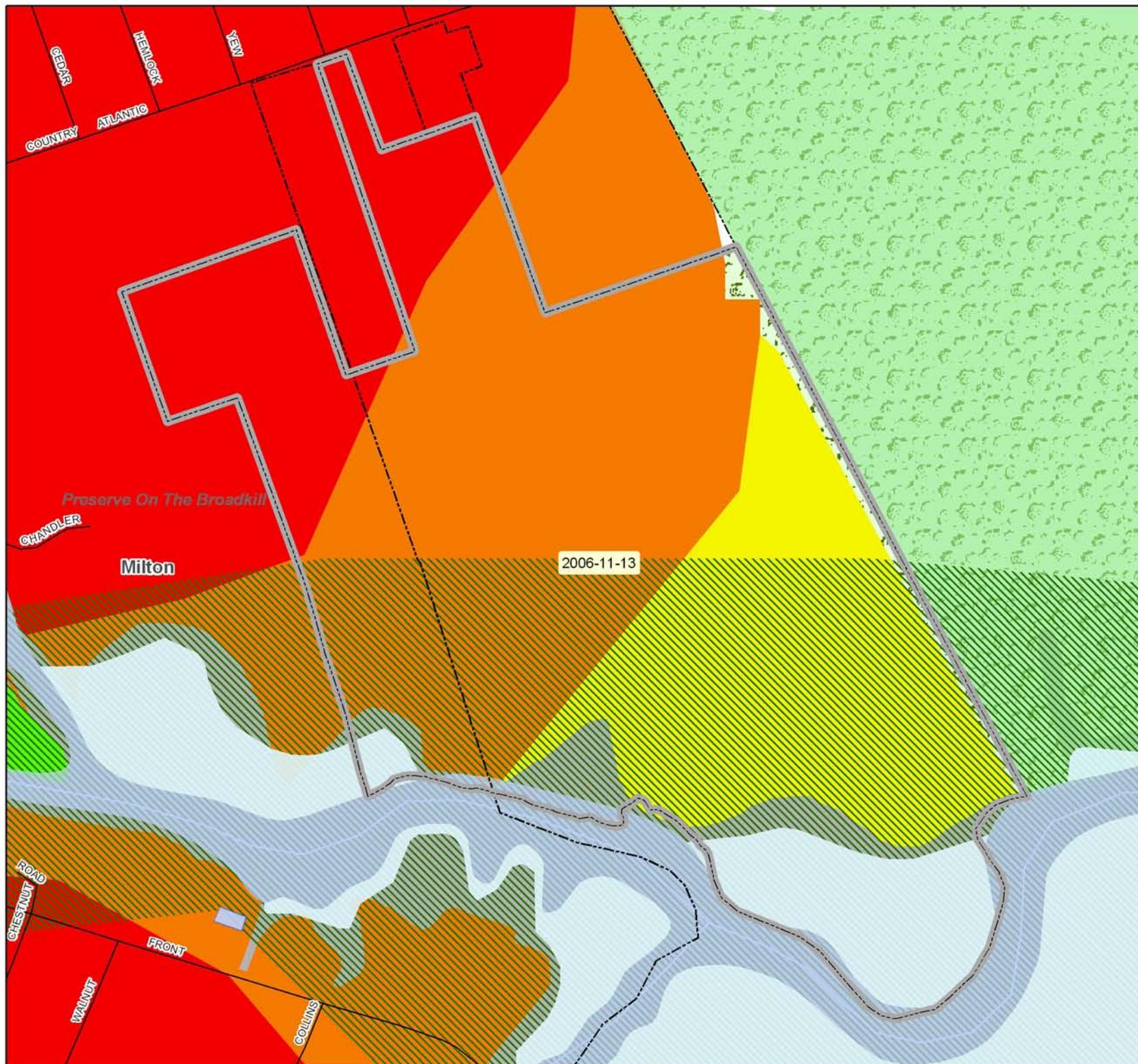
WETLANDS LINE TABLE		
Flag - Flag	Length	Bearing
WETLANDS AREA 'M'		
1m - 2m	6.04'	N 14° 07' 36" E
2m - 3m	35.32'	N 73° 03' 38" E
3m - 4m	5.72'	S 11° 03' 33" E
4m - 1m	37.85'	S 73° 50' 52" W
WETLANDS AREA 'N'		
1n - 2n	3.38'	N 19° 19' 24" W
2n - 3n	29.94'	N 20° 17' 17" E
3n - 4n	5.77'	S 39° 34' 56" E
4n - 1n	31.99'	S 73° 56' 40" W



WETLANDS LIN	
Flag - Flag	Length
WETLANDS AI	
1d - 2d	15.07'
2d - 3d	16.68'
3d - 4d	10.20'
4d - 5d	7.23'
5d - 6d	16.25'
6d - 7d	14.46'
7d - 1d	10.07'
WETLANDS AI	
1e - 2e	8.79'
2e - 3e	19.00'
3e - 4e	19.14'
4e - 5e	7.83'
5e - 6e	6.83'
6e - 7e	25.96'
7e - 1e	19.53'
WETLANDS AI	
1f - 2f	6.88'
2f - 3f	14.22'
3f - 4f	7.31'
4f - 1f	9.61'
WETLANDS AI	
1g - 2g	14.78'
2g - 3g	30.34'
3g - 4g	16.06'
4g - 1g	34.26'
WETLANDS AI	
1h - 2h	10.33'
2h - 3h	17.78'
3h - 4h	7.19'
4h - 1h	7.68'
WETLANDS AI	
1i - 2i	14.59'
2i - 3i	15.78'
3i - 4i	14.84'
4i - 5i	13.05'
5i - 6i	8.71'
6i - 7i	11.14'
7i - 8i	18.69'
8i - 9i	12.88'
9i - 10i	7.66'
10i - 11i	14.99'
11i - 12i	7.67'
12i - 13i	4.15'
13i - 14i	14.35'
14i - 15i	21.56'
15i - 16i	23.78'
16i - 17i	12.44'
17i - 18i	15.26'
18i - 1i	23.21'
WETLANDS AI	
1j - 2j	4.54'
2j - 3j	21.62'
3j - 4j	12.47'
4j - 1j	29.06'

Preliminary Land Use Service (PLUS)

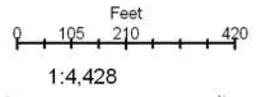
Riverwalk on the Broadkill
2006-11-13



- Project Area
- Public-Owned
- Ag District
- Purchased Dev. Rights
- Municipalities

Strategies

- Level 1
- Level 2
- Level 3
- Level 4
- Nat. Res. & Rec. Priorities
- Working Forests
- Highest Value Agriculture
- Out of Play
- Area of Dispute
- Area of Study
- Env. Sens. Dev. (Sussex)

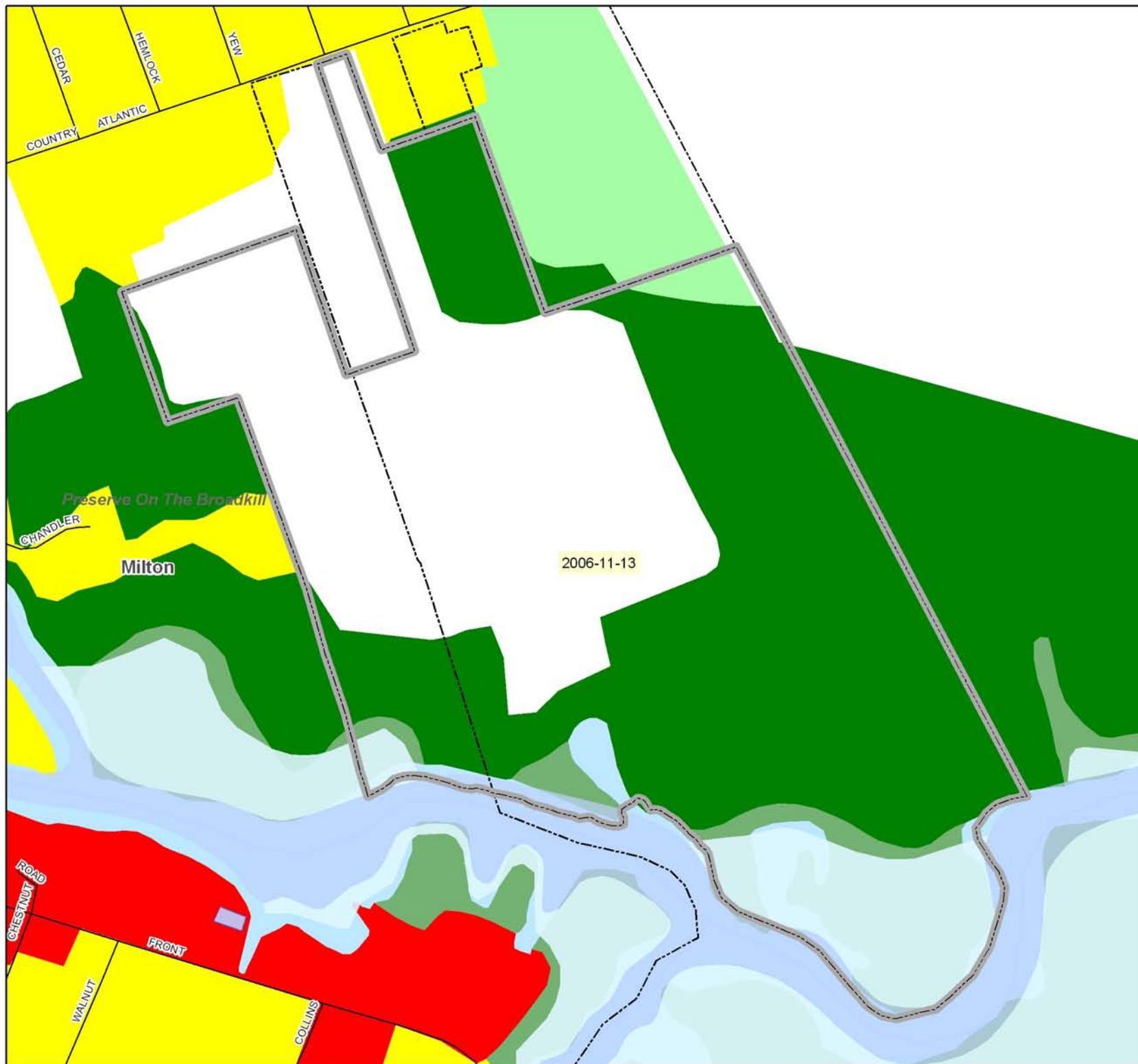


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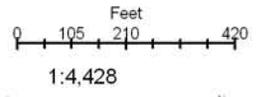


Preliminary Land Use Service (PLUS)

Riverwalk on the Broadkill
2006-11-13



- Project Area
- Municipalities
- 2002 Land Use/Land Cover**
- Residential
- Commercial/Urban
- Industrial
- Trans./Comm./Utilities
- Institutional/Governmental
- Recreational
- Agriculture
- Scrub/Clear Cut
- Forest
- Water
- Wetlands/Wet Woods
- Beach/Sandy Area
- Extraction/Transition



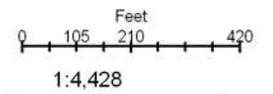
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Preliminary Land Use Service (PLUS)

Riverwalk on the Broadkill
2006-11-13

-  Project Area
-  Municipalities



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